

PROPERTY DESCRIPTION
 Address: 8072 Cherry Springs Court, Lot 2, in Block A, of
 Stonewater Crossing Phase One, on Addition to the City of
 Frisco, Denton County, Texas, according to the Plat
 thereof recorded in Cabinet Y, Page 718, of the Map
 Records of Denton County, Texas.

Roome Land Surveying, Inc.

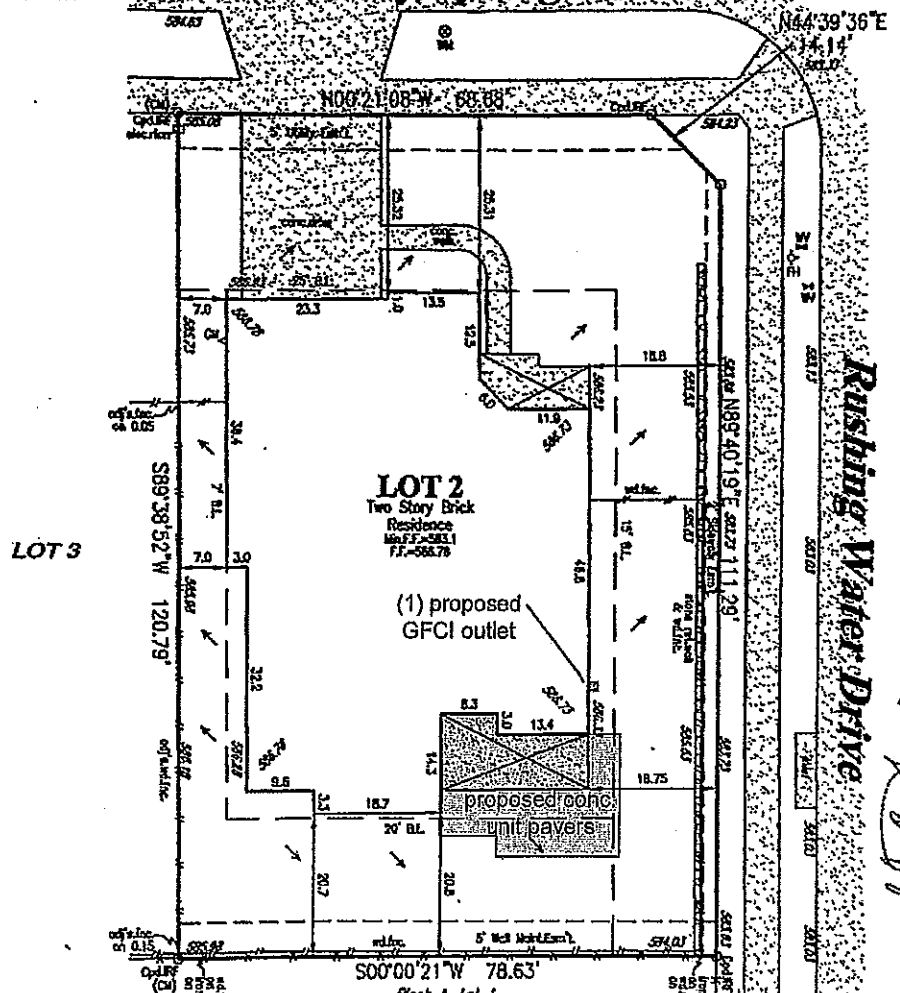
2000 Avenue G, Suite 810
 Plano, Texas 75074

Phone (972) 423-4372 / Fax (972) 423-7523
 www.roomesurveying.com



SCALE: 1" = 20'

Cherry Springs Court



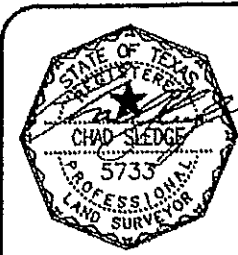
[Handwritten signature]

NOTES: (1) Source bearing is based on recorded plat, unless otherwise noted. (2) (CM) = Controlling monument. (3) Surveyor's signature will appear in red ink on original copies. (4) No part of the subject property lies within a Special Flood Hazard Area inundated by 100-year flood per Map Number 48121C 0420G of the F.E.M.A. Flood Insurance Rate Maps for Denton County, Texas & Incorporated Areas dated April 18, 2011. (Zone X). This statement does not imply that the property and/or structures will be free from flooding or flood damage. On occasion, greater floods can & will occur & flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor. (5) Final grade assumed finished floor elevations are at the brick ledge. (6) Drainage arrows, if shown, were determined by elevations shown hereon. (7) Subject property is affected by any & all notes, details, & easements, & other matters, that are shown on or as part of the recorded plat and/or as part of a title commitment/survey request. (8) I hereby declare that the elevations & drainage patterns shown hereon were developed from a survey of this property & accurately & truly depict the elevations as they existed on the date of this survey. The relative elevations as depicted may change subsequent to the date of this survey due to consolidation or upheaval of the soil; addition or removal of the soil by acts of man; erosion by wind or water; or other factors. Therefore, this survey may not depict the elevations & drainage patterns of this property after the date of this survey. The elevations & drainage patterns shown above are the certified findings of the professional engineer or land surveyor of the finished ground grades around the structure on the date of the survey. The homeowner must maintain these elevations & grades to property drain the water away from the home. (9) Property is subject to: (i) Terms, provisions, conditions, easements, obligations, assessments & liens contained in Instrument CC#2008-112867 & Instrument CC#2009-102537. (10) This following does not affect subject property: (i) Easement to Denton County Electric Cooperative, Inc. recorded in Volume 338, Page 84 & Volume 402, Page 174. (ii) Terms, provisions, & conditions of Drainage & Detention Construction & Easement Agreement in CC#2005-117370; CC#2006-132555 & CC#2007-66967.

CERTIFICATION

On the basis of my knowledge, information & belief, I certify to Old Republic National Title Insurance Company that as a result of a survey made on the ground to the normal standard of care of Registered Professional Land Surveyors practicing in the State of Texas, I find the plat hereon is true, correct, & accurate as to the boundaries of the subject property, & if shown, location & type of buildings & visible improvements hereon.

Date: 11/14/2011 Revised: _____ Job No. 1697863
 Title commitment/Survey Request File No. 8811001462 dated: 10/19/2011



STATE OF TEXAS
 CHAD SLEDGE
 5733
 PROFESSIONAL
 LAND SURVEYOR