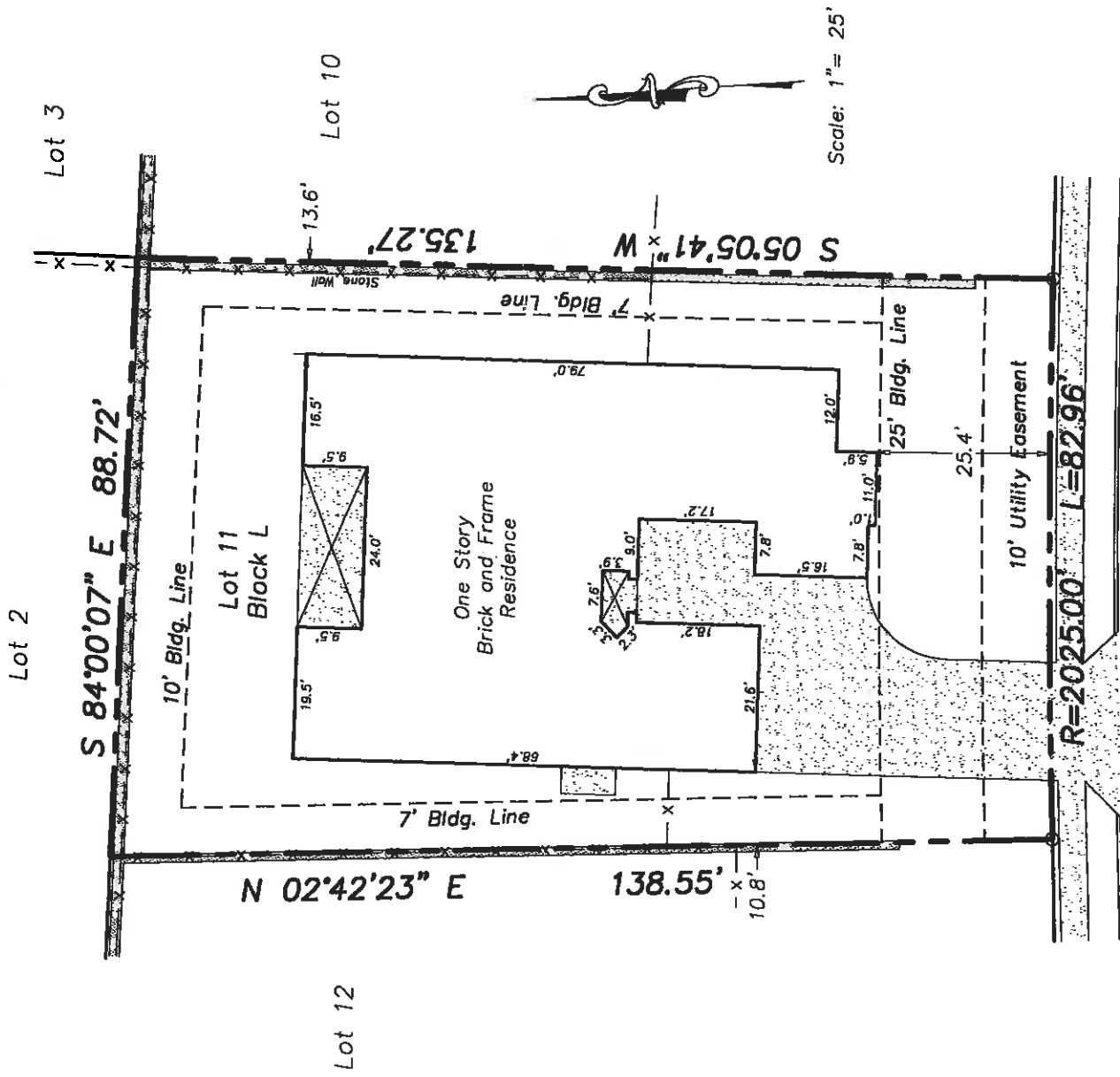


**PROPERTY DESCRIPTION**

Lot 11, Block L, Willow Ridge Phase Three, an addition to the City of Prosper, Collin County, Texas, according to the plat recorded in Volume Q, Page 618, Plat Records, Collin County, Texas.



**Note:**  
To the best of my knowledge, this lot is not directly affected by the easements recorded in Vol. 362, Pg. 88, affected by Doc. No. 2007-760150, ORCCT. Vol. 711, Pg. 571, DRCCT.

**Flood Statement:**  
This property is not located in Zone 'A' or 'AE' ( Special Flood Hazard Areas Inundated by 100-year Flood ), this property is located in Zone 'X' ( Area determined to be outside the 500 year floodplain ) as shown on the FEMA, Flood Insurance Administration Rate Map, Community-Panel Number 48085C0235J, Dated 6/02/09. This statement does not imply the property and/or structures thereon will be free from flooding and/or flood damage. Greater floods can and may occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor. If interested parties have concerns regarding the flooding propensities of this property, a qualified Licensed Professional Engineer should be consulted.

**811 KIOWA DRIVE**  
Center line control monumentation found was used for controlling monumentation.

I, the undersigned, hereby certify that the survey map hereon, and the accompanying description, depicts and describes the results of a careful and accurate survey, made on the ground, and to the best of my knowledge and belief, is a true and correct depiction and description of the property surveyed, and that there are no apparent encroachments or protrusions across boundary lines, shortages of area or boundary, except as shown hereon. The only easements the undersigned has knowledge, are those as shown, however this property is subject to any and all easements, reservations, and restrictions that may be of record. Any reference to the 100 year flood plain or flood hazard zone, is an estimate based on the data stated hereon, and should not be interpreted as a study or determination of the flooding propensities of this property.

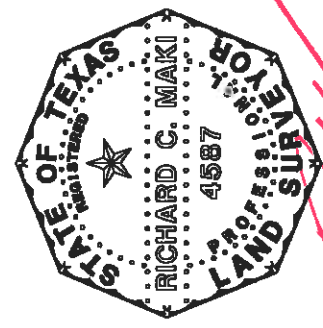
**Note:** This survey was performed in connection with the transaction described in:

GF. No. ALDAL04-AT0000046309, for Alamo Title Company.

**MAKI AND ASSOCIATES, INC.**  
P.O. BOX 14293 ARLINGTON, TEXAS 76094-1293  
( 817 ) 226-2700, Fax ( 817 ) 261-8223

**Legend:** ○ Iron Rod Found    -x-x- Wood or Wire Fence  
● Iron Rod Set    ▲ Control Monument

All iron rods are 1/2" rebar unless otherwise noted.



Richard C. Maki  
Registered Professional  
Land Surveyor No. 4587

Date: 8/28/13  
Job No. 67575  
Drawn By: ASW