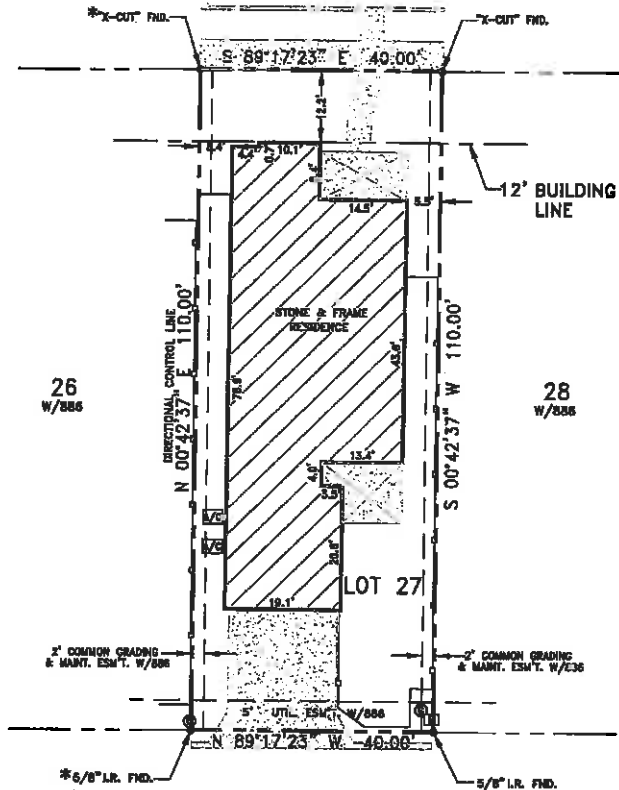


REFERENCE NO: 134205  
 TITLE CO: DLI  
 BUILDER: D.R. HORTON  
 DATE: 1/18/13

GPS 170-101700782-121  
 PURCHASER WAECHTER

9016 WATERMAN DRIVE  
 (30' RIGHT-OF-WAY)



**LEGEND**

FINISH	-----
TELEPHONE	-----
ELECTRIC	-----
CONTROL POINT	-----
WOOD	-----
CONCRETE	-----
ASPHALT	-----
CABLE BOND	-----
ELEC. BOND	-----
OPEN VALVE	-----
LIGHT POLE	-----

NOTE: BASIS OF BEARINGS FOR THIS SURVEY FROM DATA PROVIDED BY THE RECORDED PLAT.

SUBJECT TO RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B, OF THE TITLE COMMITMENT REFERENCED BY G.F. NUMBER HEREON.



**PROPERTY DESCRIPTION:** Lot 27, Block C, Seaside Village II at Providence Phase 7, an Addition to Denton County, Texas, according to the map or plat thereof recorded in Cabinet W, Page 886, Plat Records, Denton County, Texas.

**SURVEYOR'S STATEMENT:**

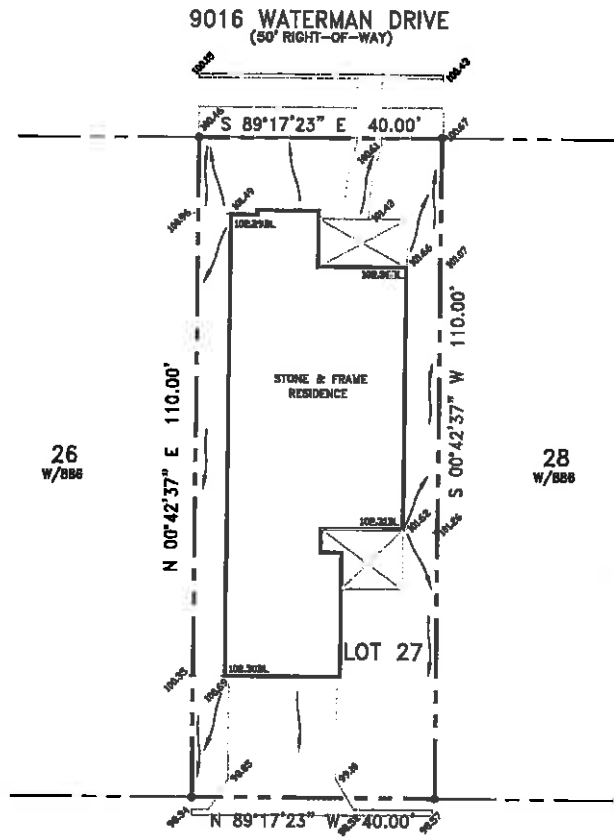
The undersigned Registered Professional Land Surveyor has prepared this survey for the exclusive use of the herein named home builder and title company only. The undersigned acknowledges that this survey was conducted by the surveyor or under his supervision on the data shown hereon; this plat of survey and the property description and facts hereon are an accurate representation of facts found at the time of an actual on-the-ground survey; there are no visible, above ground encroachments, or protrusions, except as shown. The use of this survey by any parties other than those named above for any other purposes shall be of the user's own risk and any loss resulting there from shall not be the responsibility of the undersigned. Unauthorized use is not permitted without the express written permission of Dowdy Land Surveyors, Inc.



*Robert W. Bryan*  
 ROBERT W. BRYAN, R.L.S. No. 8508  
 DOWDY LAND SURVEYORS, INC.  
 6850 MANHATTAN BLVD. SUITE 310  
 FORT WORTH, TEXAS 76120  
 (817) 429-8888



REFERENCE NO: 134205  
 FINAL GRADE SURVEY  
 DATE: 1/18/13



26  
W/888

28  
W/888



16' ALLEY

**PROPERTY DESCRIPTION:** Lot 27, Block O, Seaside Village II At Providence, Phase 7, an addition to Denton County, Texas, according to the Map or Plat thereof recorded in Cabinet W, Page 888, Plat Records, Denton County, Texas.

**SURVEYOR'S STATEMENT:** I hereby certify that the elevations and drainage patterns shown hereon were developed from a survey of the above described property performed on the date shown and accurately and truly depict the elevations as they existed on the date of said survey. The related elevations as depicted hereon are correct to the nearest 1/10th foot. The elevations as depicted hereon may change subsequent to the date hereof, due to subsidence or upheaval of the soil, addition or removal to soil by acts of man, erosion by wind or water or other factors. Therefore, this survey may not accurately depict the elevations and drainage patterns of the above property after the date of survey.

NOTICE: THIS IS NOT A TITLE SURVEY AND IS NOT TO BE USED FOR TITLE TRANSFER



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